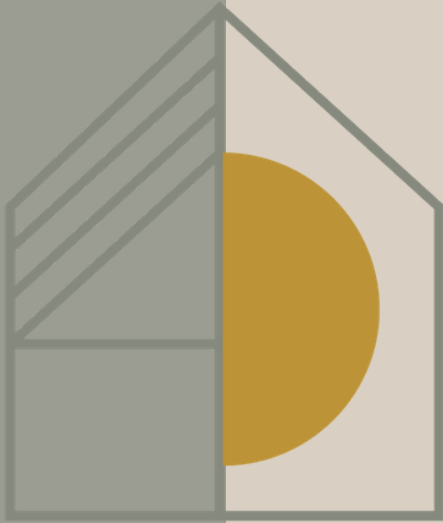


2021 CUSTOM DESIGN  
GUIDE



# BACK FORTY

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BUILDING CO.

HOW TO DESIGN YOUR  
DREAM HOME

Liv Berg, Back Forty Building Co.

# WHAT IS A CUSTOM FLOOR PLAN?

## AND, DO I EVEN NEED ONE?

So, you want to build a home!? How exciting! Your home is one of the biggest, most important investments you'll make in your lifetime.

Typically, the "first stop" in planning your build is finding house plans. There are lots of sites online (ours included!) that have great stock plans. Most stock plan sites will even make minor customizations of the floor plan for a small fee.

However, a lot of people also opt for something totally custom...a "one-of-a-kind" home that was thoughtfully designed at every corner to suit their exact needs and tastes. *We often find folks contact us for custom design for one of four reasons:*

01

THEY CAN'T FIND A STOCK PLAN THEY LOVE, OR THAT THEY ARE INTERESTED IN MODIFYING

02

THEY ARE HAVING TROUBLE WORKING THROUGH THE THINGS THAT ARE IMPORTANT TO THEM IN A HOME, AND THEY NEED HELP VISUALIZING HOW BEST TO LAY OUT AND DESIGN THEIR HOME TO SUIT THEIR NEEDS, BUDGET, AND STYLE.

03

THEY HAVE DRAWN A FLOOR PLAN THEY LOVE THEMSELVES, BUT NEED FORMAL CONSTRUCTION SETS DRAWN TO BE STRUCTURALLY AND DIMENSIONALLY ACCURATE AND VALID FOR PERMITS, OR FOR FABRICATING A BUILDING

03

THEY HAVE FOUND LAYOUTS OR PLANS THAT THEY LIKE, BUT THAT ARE NOT TRANSFERABLE TO STEEL STRUCTURES, OR COST EFFECTIVE FOR A STEEL BUILDING.



MEET BACK FORTY BUILDING CO.

# WHO SHOULD DESIGN MY FLOOR PLAN?

Yes, we will admit, we're a bit biased here! However, there are some tried-and true guidelines for making the important decision of who will help you to design your home! Here's some things to consider:

## EXPERIENCED DRAFTING AND ENGINEERING TEAM

A great drafting and engineering team will understand building code, have expert structural knowledge, and a background in residential/home design. Our team has nearly 30 years of home design experience and uses the latest drafting and design tools, like Chief Architect.

## GREAT LISTENING SKILLS

Your home is about YOU. Working with a team that is able to listen and bring your unique vision to life is critical. Our top priority is to take your ideas, and provide creative solutions to make your floor plan functional, beautiful, and everything you pictured!

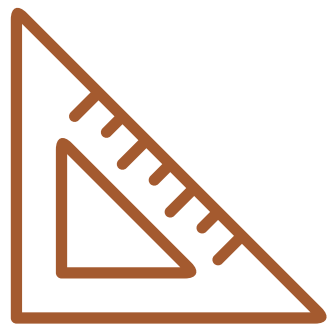
## DESIGN + SPATIAL SAVVY

You want a design team that can take your list of, say, features you want in a master bath, and turn those in to a functional, well-thought out space. You'll be spending a lot of time in your home, so it's important that your design team can help you get the features and the "feel" you're dreaming of!

## COLLABORATIVE ATTITUDE

You want a design team that can communicate with your builder, or any other person or company working on your home project! Our only goal is to "wow" you with a fun, stress-free experience, and get your GC, bank, or building department the documents they need to complete your home!

# WHY IT'S IMPORTANT TO WORK WITH A STEEL-EXPERT HOME DESIGNER:



While we design all types of barndominiums (including pole barns and stick built) steel buildings are very different than most homes. Their structural support members, framing requirements, etc. make a big impact on the layout of your home and your house plans. **Most "stick built" plans are not inherently transferrable to a steel building**, and often require moving windows, doors, header heights etc. It's far easier and more cost effective to start designing your plans specifically for a steel building, with a design agency that understands how steel works.

**There are lots of questions that need answered when building a steel home:** where will you run your HVAC? How are your primary columns going to be placed in order to be minimally invasive in your interior? What opportunities do we have to save costs by X-bracing rather than portal framing? These are not questions a stick-built home designer will ask, that can cost you time and money down the road, if not answered on the front end.

What is more, there are a number of different ways to go about "building out" the interior of a steel building home, as well as different building codes that often govern steel homes. At Back Forty, **we are experts in all major methods of interior build outs and framing**, and can help ensure your plans reflect that correctly.

We are also able to work with your manufacturer (or **price your building design in "real-time"** while designing, using our manufacturing networks) to help create the ideal steel envelope for your home. We also are able to affordably engineer your interior, and stamp foundation plans, if needed. When you work with Back Forty, your plans are true steel plans that call out column placement, and use steel specific details.

## HERE'S WHAT OUR CLIENTS ARE SAYING:



"Back Forty Building Co. has been nothing but an absolute blessing to work with! Fell in love with one of their designs but wanted our own touches for our dream home and they made the whole process so smooth and such a stress free time!

Definitely recommend working with them to anyone!"

**-Madison G, Via Google Review**



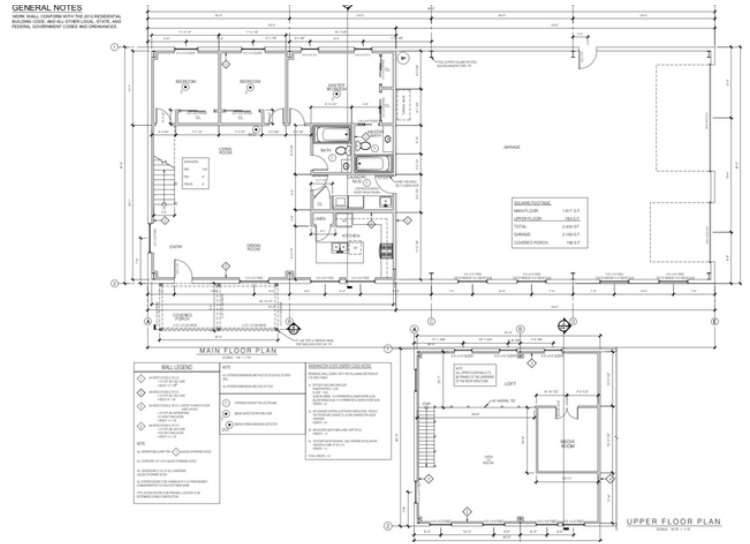
"Liv was amazing to work with! When it came to customizing one of their stock floor plans to meet our wants but also budget and size restrictions, she listened to our ideas, provided honest feedback and her and the Back Forty Building team worked quickly to creatively give us everything we had hoped for."

**-Lauren D, Via Google Review**

# YOUR HOME, BROUGHT TO LIFE...

## COMPLETE CONSTRUCTION SETS

Our plans include everything you need to bid a project, get permits, and build your dream home (see page 5 for more information)



## PHOTO-REALISTIC EXTERIOR RENDERINGS

A gallery of 7 hi-res renderings of what your home will look like on completion, designed to your finish tastes and specifications

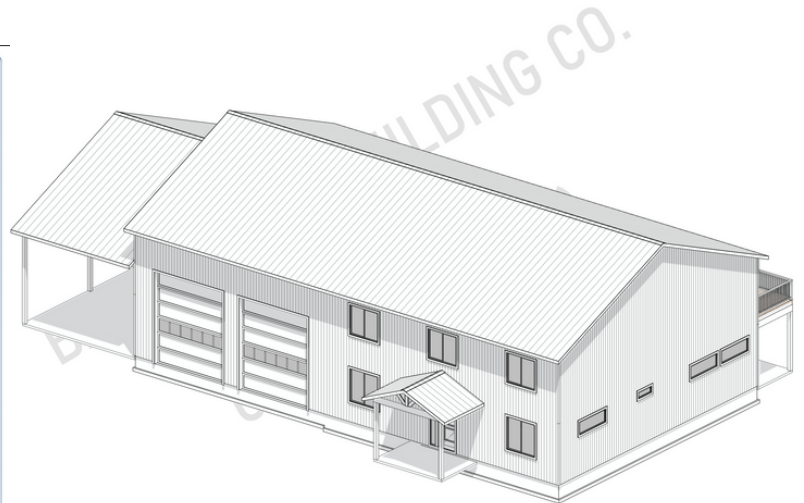
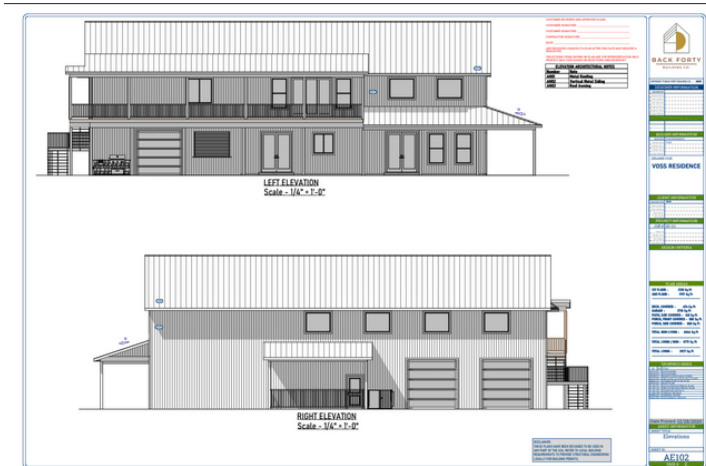


## INTERIOR DOLLHOUSE VIEWS

Visualize your layout in 3D with a birds-eye view of your entire home. This unique perspective is helpful when thinking about furniture placement etc.

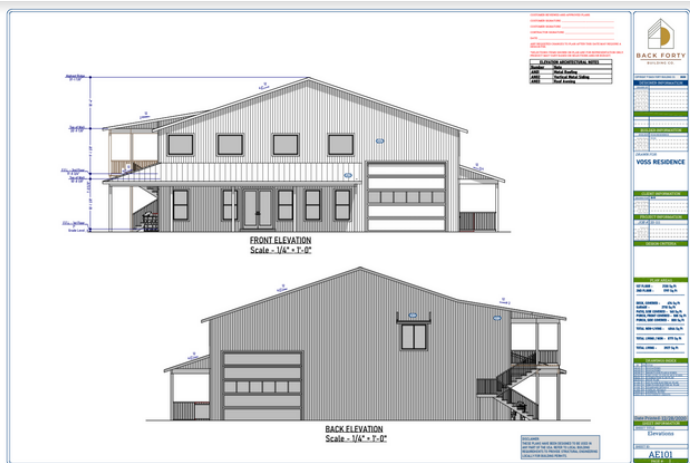


# WHAT DO MY PLANS INCLUDE?



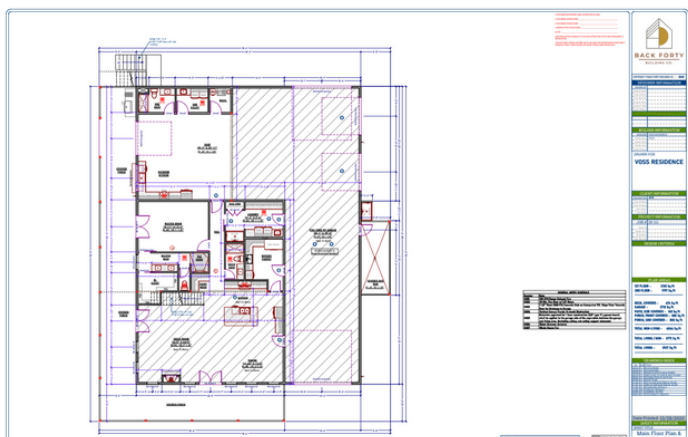
## EXTERIOR ELEVATIONS

Exterior elevations are drawings that show how the finished home will approximately look. In this section, elevations of the front, rear and left and right sides of the home are shown, as well as 3D views. Exterior materials, details and heights are noted on these drawings.



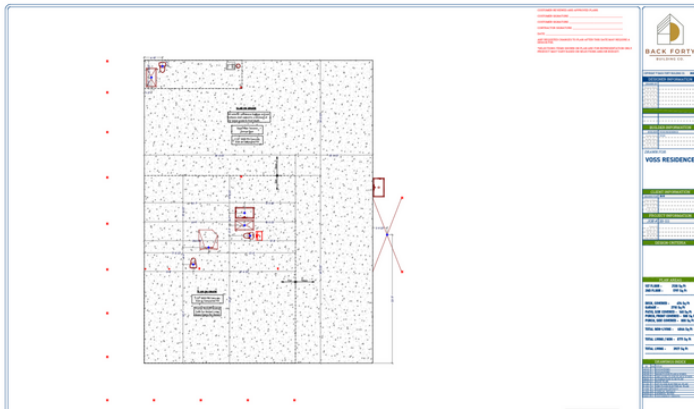
## DETAILED FLOOR PLANS

This section provides detailed floor plan drawings and descriptions of all the elements that will be included on each floor of the home. The home's exterior footprint, openings and interior rooms are carefully dimensioned. Important features are noted including built-ins, niches and appliances. All doors and windows are identified. Typically this section also includes the square footage information.



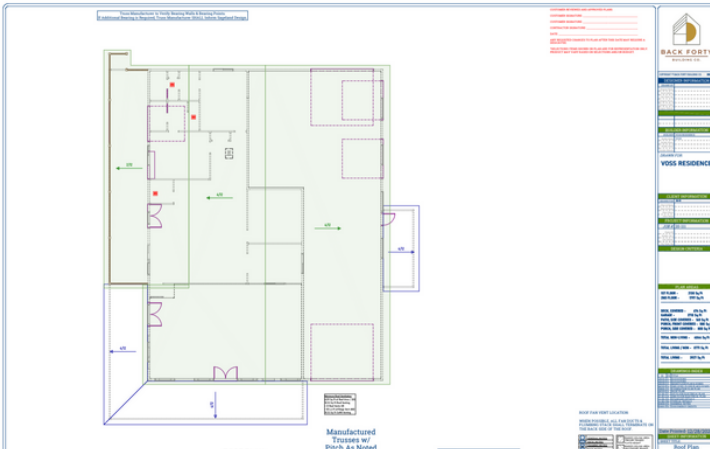
# PRELIM STRUCTURAL FOUNDATION SLAB PLAN

The foundation plan shows the location of footings, piers, columns, foundation walls, and supporting beams. The foundation plan is drawn from information presented on the floor plan, plot plan, and elevation plan drawings. This also notes locations of plumbing.



# ROOF PLAN

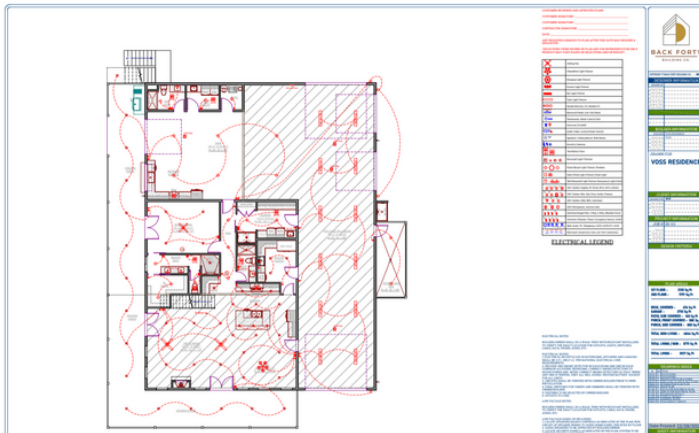
The overall layout and necessary details for roof design are provided in this section. If trusses are used, we suggest using a local truss manufacturer to design your roof trusses to comply with your local codes and regulations. Similarly, if we also design a steel building for you, the roof plan will be modified.



# LIGHTING PLAN

This section shows an electrical plan that will enhance functionality and highlight your style and features of the home that you want to draw out.

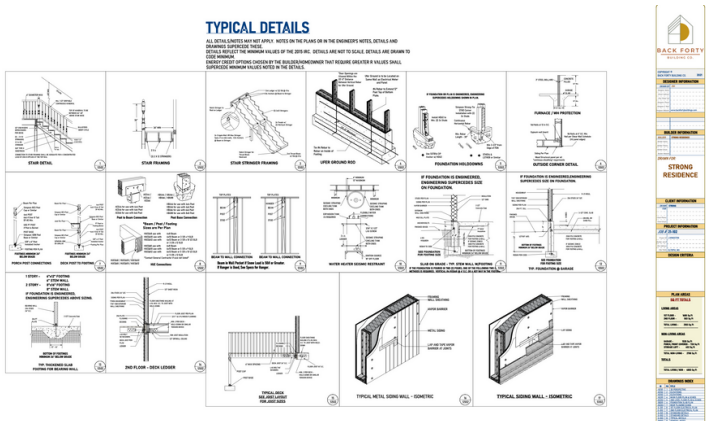
Bear in mind that while your lighting plan is designed to meet building code, many clients will end up making minor modifications to this plan with their electrician, and placing outlets, during that phase of the build.

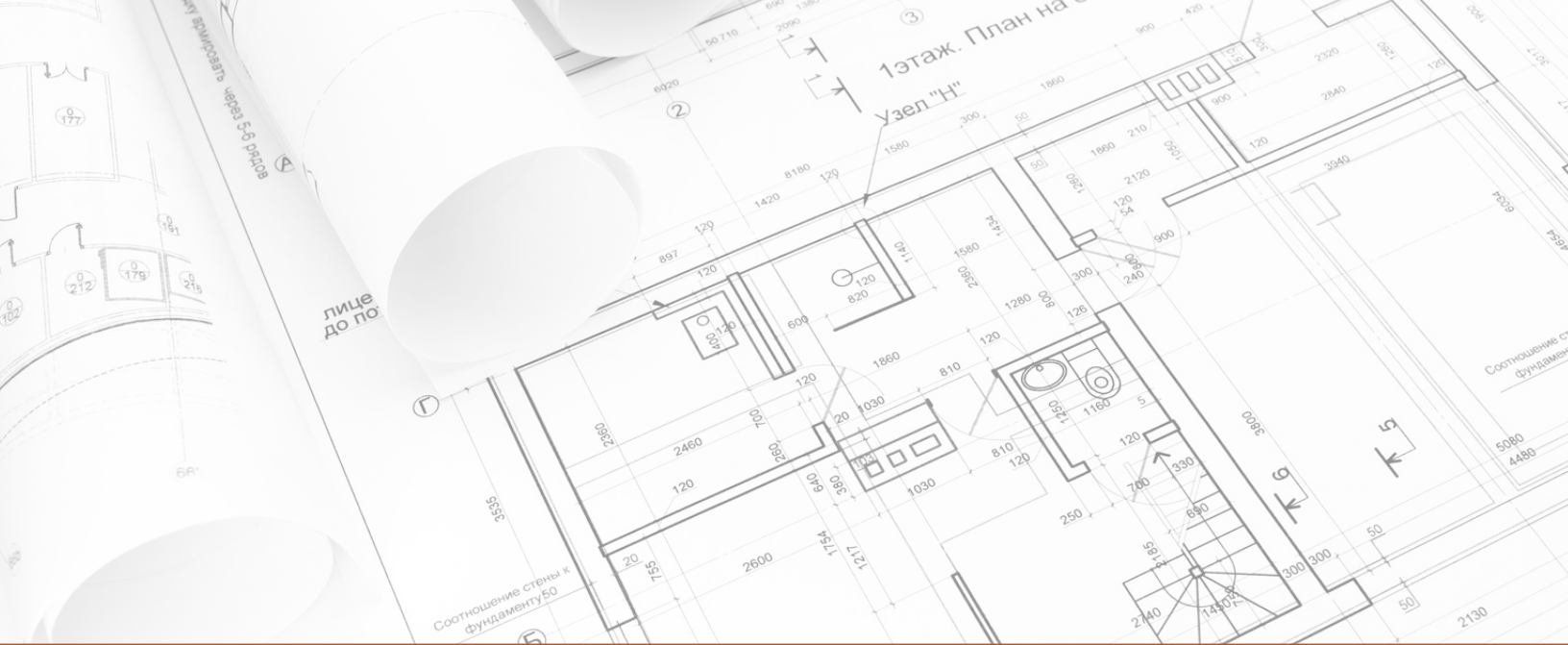


# DETAILS AND NOTES

This section addresses all the facets and typical details you will want to include in your home, with the exception of local building code requirements.

Architectural and structural elements are detailed, including steel specific notes (which most plans and design firms will not provide!)





# WHAT DO MY PLANS NOT INCLUDE?

## WE'RE ALL ABOUT TRANSPARENCY...

Each plan is designed to be consistent with the International Residential Code (IRC) in effect at the time the plan was created. Determining and complying with all applicable codes is the responsibility of you and you builder.

On request we can provide an energy credit sheet and calculations.

Heating/air conditioning layouts and plumbing layouts (outside from plumbing locations) are not included. It is standard to create these layouts with the subcontractor that will be installing your HVAC and plumbing (typically, this is included in their services). Locations are highly variable and customizable, which is why it is most common to walk through your home during construction, and note these placements with your installer.

Additionally, while your building manufacturer will stamp your steel building, they do not typically stamp the interior framing. If your building department requires a stamp on your interior portion, they will only accept a stamp from an engineer licensed in the state where you plan to build. We are one of the only barndominium design companies in the U.S with the ability to stamp plans and provide calculation sets, in all 50 states (for an additional fee), or, you can take your plans to your local engineer and have them stamp your plans!





**BACK FORTY**  
BUILDING CO.

# OUR CUSTOM-DESIGN PROCESS



## INITIAL MEETING

This is a 30-45 minute meeting where we talk about your home! Wants, needs, ideas, style, design tastes etc. We help you walk through it all!



## PROPOSAL AND DEPOSIT

If we all decide to work together, then we send you a simple proposal, and a deposit for 50% of the estimated cost of your project. Like most design firms, we calculate this by square foot. We charge \$1.15 per sq. ft. for living space, and \$0.30 per sq. ft. for non-living space like garages, shops, and barns.



## PRELIM PLAN

Once your deposit is paid, we get to work! You can expect a preliminary floor plan ready for you to review in 7-10 business days.



## REVISION AND EDITING PROCESS

Take your time! Ask a lot of questions! Don't hold anything back! During this phase, we will be making requested changes, offering suggestions, and providing new plans for your review. Your design package comes with two major revision cycles, after the initial prelim.



## FINALIZED PLANS + RENDERINGS

Woo hoo! Now we celebrate! Your complete construction sets are finalized, and we provide you with your renderings as well....your home has officially come to life! From the date of your deposit, to completion, expect 3-4 weeks.

# ASSEMBLE YOUR DREAM TEAM, FOR YOUR DREAM HOME!

We recognize the importance of working collaboratively with your building manufacturer, and offer a level of expertise and service AFTER your plans are completed, that is unmatched by any other design firm in the U.S.

We offer an in-house network of manufacturers who provide competitive pricing and 5-star service to Back Forty Clients. We also are happy to work directly with the manufacturer of your choice.

Whether it's questions about pricing, steel building design, estimate review, or interfacing directly with the fabrication team, we do whatever it takes to make sure that your barndominium is perfectly designed and manufactured, and that the process is enjoyable!

"Amazing people to work with! Super helpful and would use them again if I could!!"

-Char J, Via Google Review



Get in Touch!

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